

NOTICE OF PUBLIC HEARING

Pursuant to Section 45 of the *Planning Act*

APPLICATION FOR MINOR VARIANCE (A7-26)

OWNERS: Kenneth and Shelley Verougstraete

AGENT: Brayden Joss Verougstraete

LOCATION: Part of Lots 11 and 12, Concession 2 North Dorchester; and Parts 4 and 6 and Part of Part 1, RP 33R11488 & 3558 Elgin Road (County Road 73)

ROLL NUMBER: 3926-000-070-00901

Purpose and Effect

The purpose and effect of this application is to request relief from the Thames Centre Comprehensive Zoning By-law as it relates to the minimum lot area requirements of the Agricultural (A) Zone. Specifically, the applicant is requesting permission to recognize a reduced lot area of 28 hectares (69.2 acres), whereas the Zoning By-law requires a minimum lot area of 40 hectares (98.8 acres). The application also requests to permit two existing accessory buildings to be permitted in the front yard of a future single detached dwelling on 3558 Elgin Road. The application will fulfil Condition 5 of Application for Consent B21-25, which was conditionally approved on March 23, 2025. The application conveyed a 0.37 ha (0.91 ac) parcel of land from the subject lands to be merged on title with the adjacent residential property to the west, known municipally as 3558 Elgin Road.

Description and Location of Subject Land

The subject lands are legally described as Part of Lots 11 and 12, Concession 2 North Dorchester; and Parts 4 and 6 and Part of Part 1, RP 33R11488, Municipality of Thames Centre. The subject property is located on the southeast corner of Cromarty Drive and Elgin Road (County Road 73).

Public Hearing

The Municipality's Committee of Adjustment will hold a public hearing to consider the subject application, which will be held in a hybrid format, being conducted electronically and in-person.

Date: Monday, July 20, 2026

Time: 5:00 p.m.

Place: This will be a hybrid meeting.

Thames Centre Municipal Office Council Chambers- 4305 Hamilton Rd., Dorchester and broadcasted live on the Municipality's YouTube Channel, namely:

www.youtube.com/municipalityofthamescentre

The public is advised that the Council meeting will begin at 5:00 p.m., although the exact time of item is unknown. To participate **electronically** via phone or by video using Zoom, registration is required. Please visit the website www.thamescentre.on.ca/registration and complete the registration process before **12 Noon on Monday, July 20, 2026**. Notwithstanding the deadline above, members of the public are asked to register as soon as possible to provide an orderly registration process and meeting. Send any **written comments or concerns** for Council's consideration via email to comments@thamescentre.on.ca or by mail to the municipal office before **12 Noon on Wednesday, July 15, 2026**. The public is advised that comments expressed and written material presented are a matter of public record for full disclosure.

Other Planning Act Applications: As noted above, this property was previously subject to Application for Consent B21-25, which was conditionally approved on March 23, 2025. Prior to that, the property was subject to Consent B13/18, which conveyed a 2,085 m² (0.5 ac) parcel of land to 3558 Elgin Road (County Road 73).

Other Information: For more information about this matter, contact Erin Besch, Planner, at 519-930-1010 or at ebesch@middlesex.ca

DATED at the Municipality of Thames Centre, this 9th day of July 2026.

Municipality of Thames Centre
4305 Hamilton Rd.
Dorchester, ON
N0L 1G3

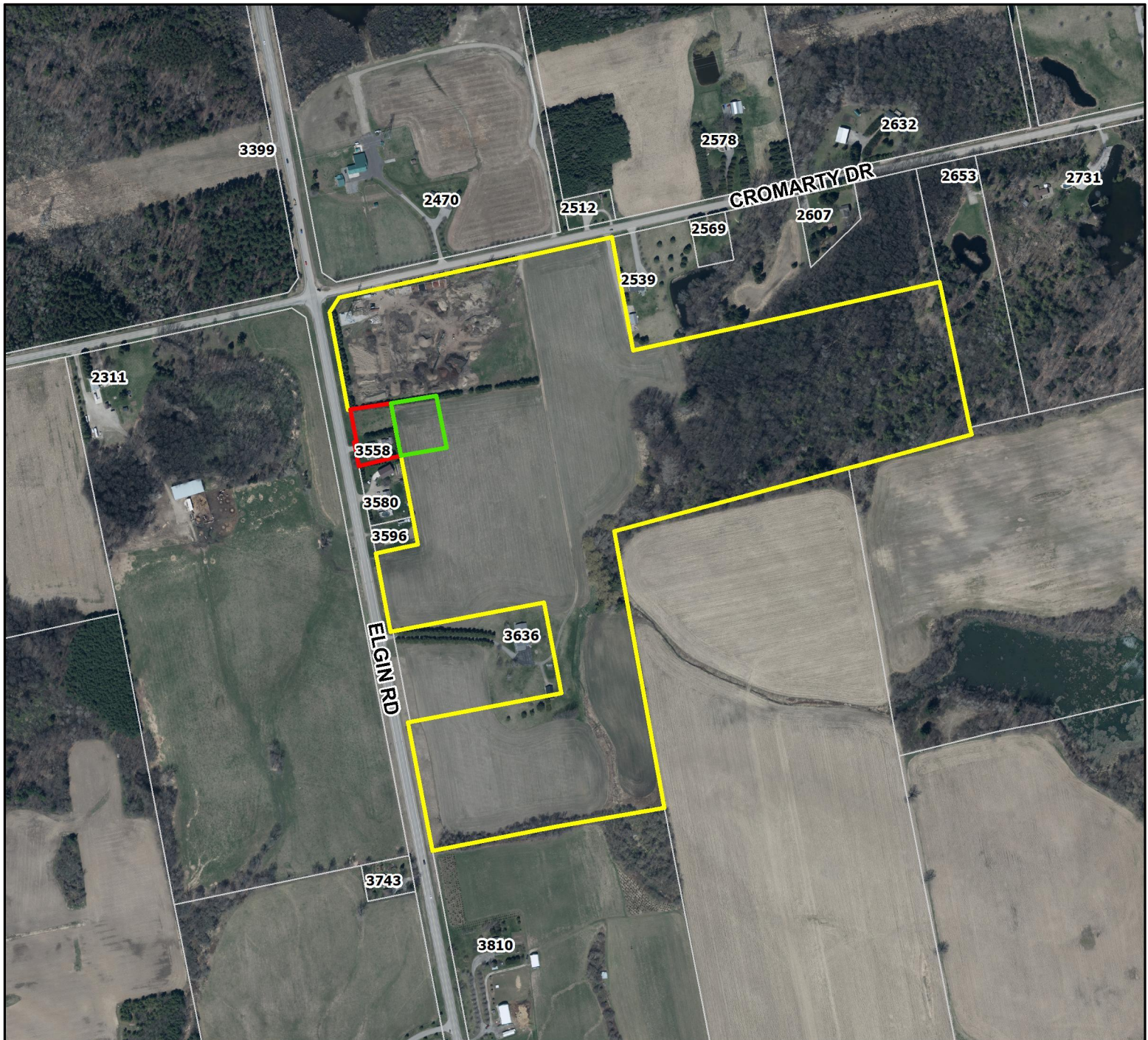
APPLICATION FOR MINOR VARIANCE: A7-2026

Applicant/Owner: Brayden Joss Verougstraete

3558 Elgin Rd
NORTH DORCHESTER CON 2 SRT PT LOTS 11
AND 12 RP 33R11488 PARTS 4 AND 6 PT PART 1
NORTH DORCHESTER CON 2 SRT PT LOT 12
RP 33R9740 PARTS 1 AND 2 RP 33R20378 PART 2



Municipality of THAMES CENTRE



 Retained lands of B21-25 subject to minor variance

 Conveyed lands of B21-25 subject to minor variance

 Lands enlarged through consent B21-25 and subject to minor variance

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Planning Department
399 Ridout Street North, London, ON N6A 2P1
(519) 434-7321
June, 2026

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Disclaimer: This map is for illustrative purposes only. Do not rely on it as being a precise indicator of routes, locations of features, nor as a guide to navigation.